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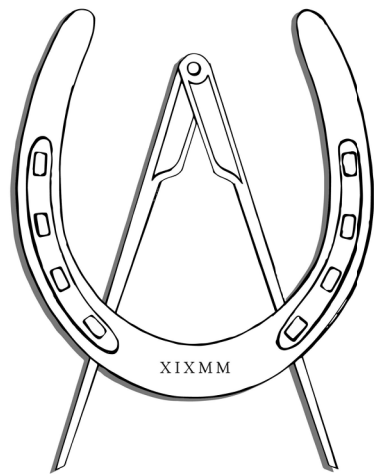
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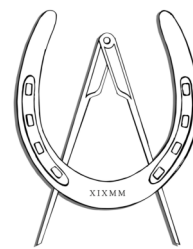
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4



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ARCHITECTURAL

SHEET NUMBER	SHEET NAME
A000	COVER
A001	ARCHITECTURAL SITE PLAN
A101a	ADDITION FLOOR PLANS
A102b	ADU FLOOR PLANS
A201a	ADDITION EXISTING/DEMO ELEVATIONS
A202a	ADDITION NEW ELEVATIONS
A203b	ADU EXTERIOR ELEVATIONS
A501	ARCHITECTURAL DETAILS

KYLE MUIR - ADDITION & ADU

1362 SOUTH 600 EAST SLC, UT 84105

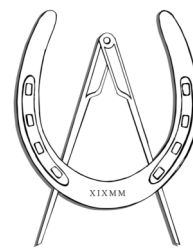
SEPTEMBER 2021

CONSTRUCTION DOCUMENTS



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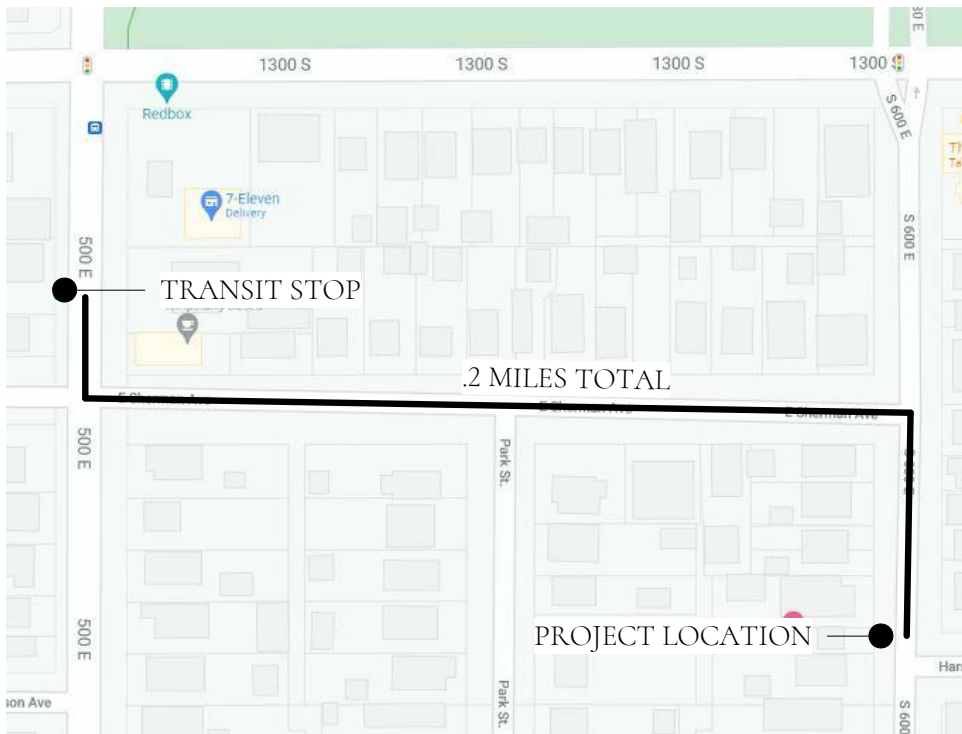
MARK	REVISION	DATE	DATE: SEPTEMBER 2021
			PROJECT #: 21-04
			DESIGNED BY: ZDH
PROJECT:			PROPERTY OF IRON HORSE ARCHITECTURE LLC. UNAUTHORIZED USE AND/OR FURTHER DISTRIBUTION WITHOUT WRITTEN CONSENT OF IRON HORSE ARCHITECTURE LLC IS PROHIBITED. DESIGNER IS NOT AN ARCHITECT OR ENGINEER. PLANS ARE FOR REFERENCE ONLY AND NOT FOR CONSTRUCTION.
KYL MUIR - ADDITION & ADU			
1362 SOUTH 600 EAST SLC, UT 84105			
SHEET NAME:			SHEET NUMBER:
COVER			A000



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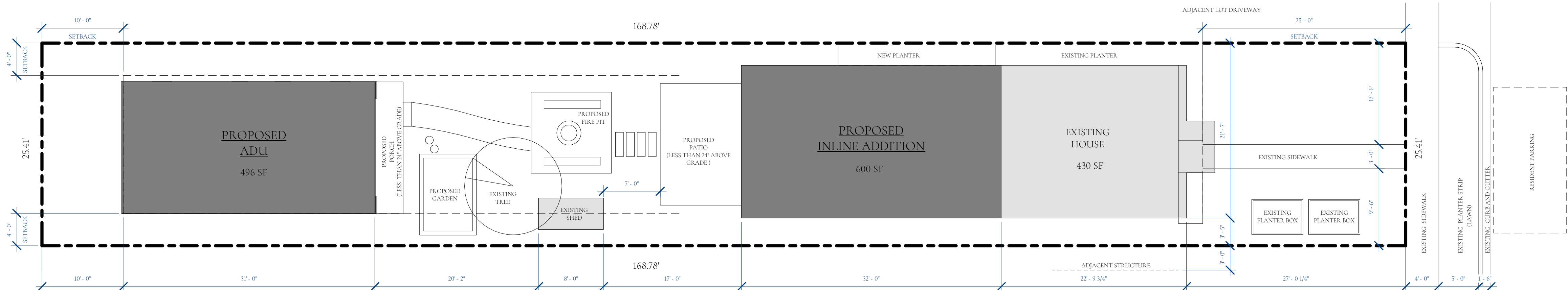


ADU PARKING REQUIREMENT

21A.40.200.E.1.g.:

The parking requirement may be waived if:

- (1) Legally located on street parking is available along the street frontage of the subject property; or
- (2) The subject property is located within one-quarter (1/4) mile of transit stop.



SITE PLAN

A001 | SCALE: 1/8" = 1'-0"



SITE ELEVATION

A001 | SCALE: 1/8" = 1'-0"

LOT COVERAGE	
Total Lot Acreage	.09 (4200 SF)
Total Lot Coverage	1726 SF
(39% coverage)	

Total Rear Yard	2590 SF
Total Rear Yard Coverage	696 SF
(27% Coverage)	

Existing Shed	200 SF
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Existing House SF	430 SF
Addition SF	600 SF
New Total SF	1030 SF

Detached Unit SF	496 SF
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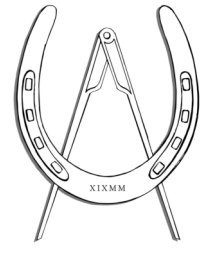
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PROJECT: KYL MUIR - ADDITION & ADU 1362 SOUTH 600 EAST SLC, UT 84105
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SHEET NAME: ARCHITECTURAL SITE PLAN
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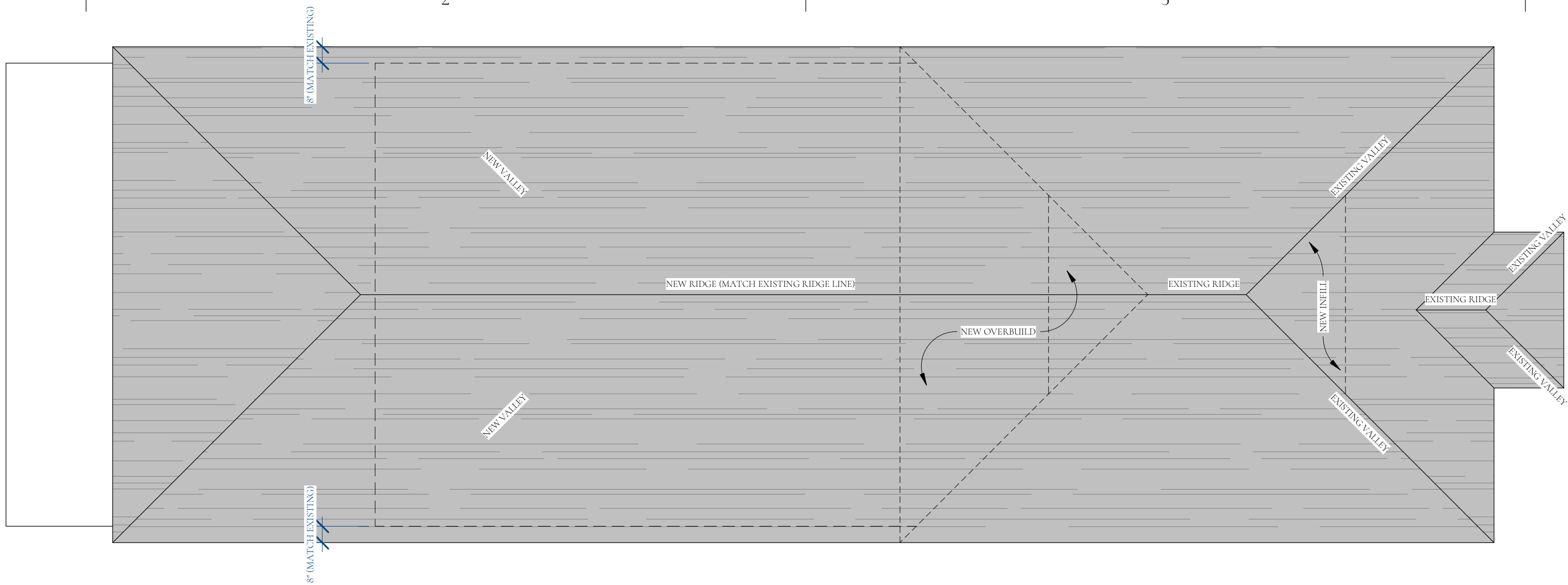
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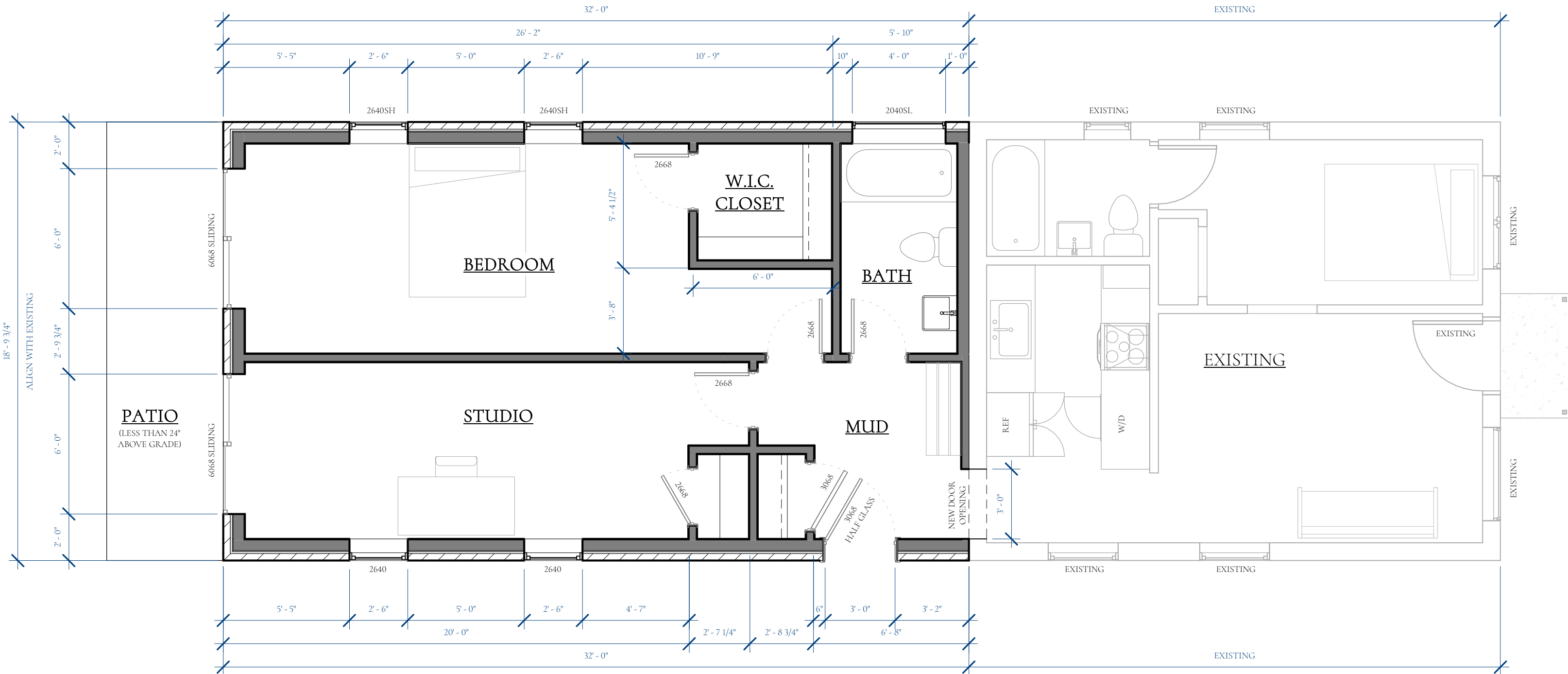


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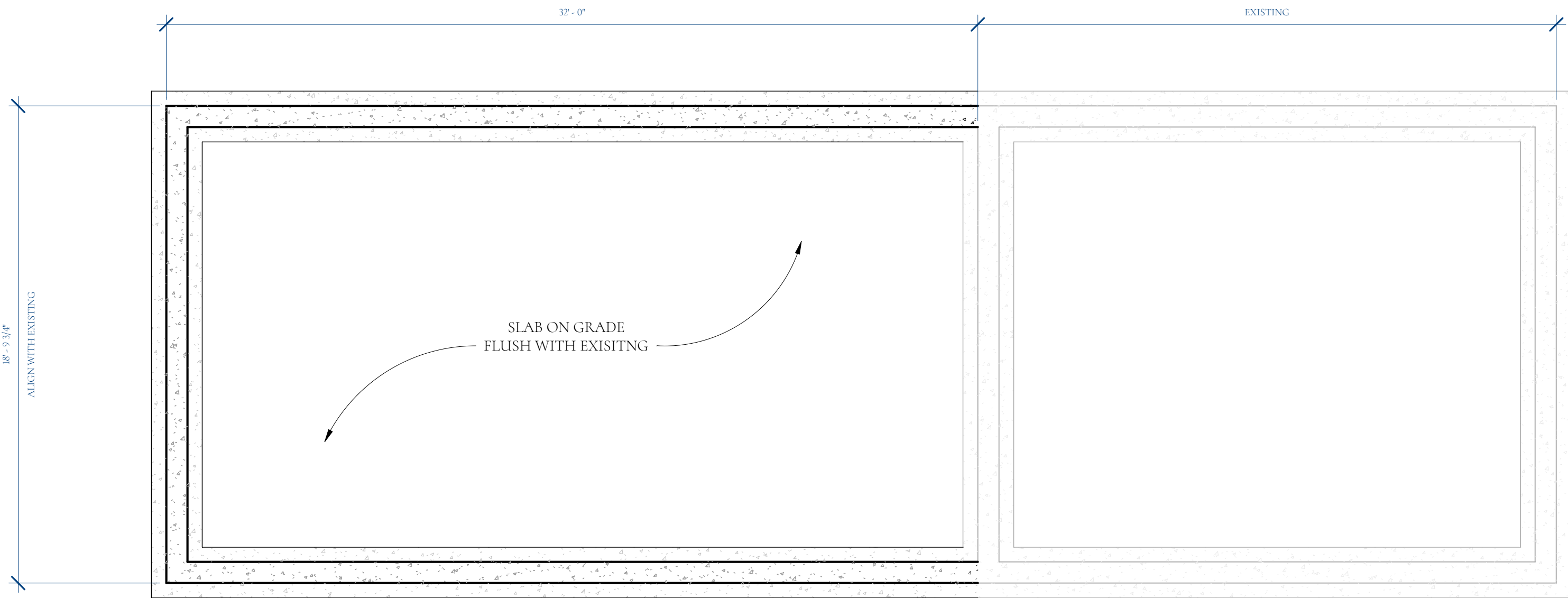
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B2 NEW ROOF PLAN
A101a SCALE: 1/4" = 1'-0"



C2 FIRST FLOOR PLAN
A101a SCALE: 1/4" = 1'-0"



D2 FOOTING/FOUNDATION PLAN
A101a SCALE: 1/4" = 1'-0"

SYM	DESCRIPTION	NOTE
	LED WRAPAROUND CEILING LIGHT	
	CEILING FAN	
	CHANDELIER	
	CEILING MOUNTED LIGHT	
	WALL MOUNTED LIGHT	
	RECESSED LIGHT	
	SWITCH	
	DIMMING SWITCH	
	110 DUPLEX OUTLET	
	110 GROUND FAULT INTERRUPT OUTLET	
	110 WATER PROOF OUTLET	
	CEILING MOUNTED 110 DUPLEX OUTLET	
	220 OUTLET	
	EXHAUST FAN	
	THERMOSTAT	
	SMOKE DETECTOR	
	CARBON MONOXIDE DETECTOR	
	CAT 5	
	DOOR BELL	
	CHIME	

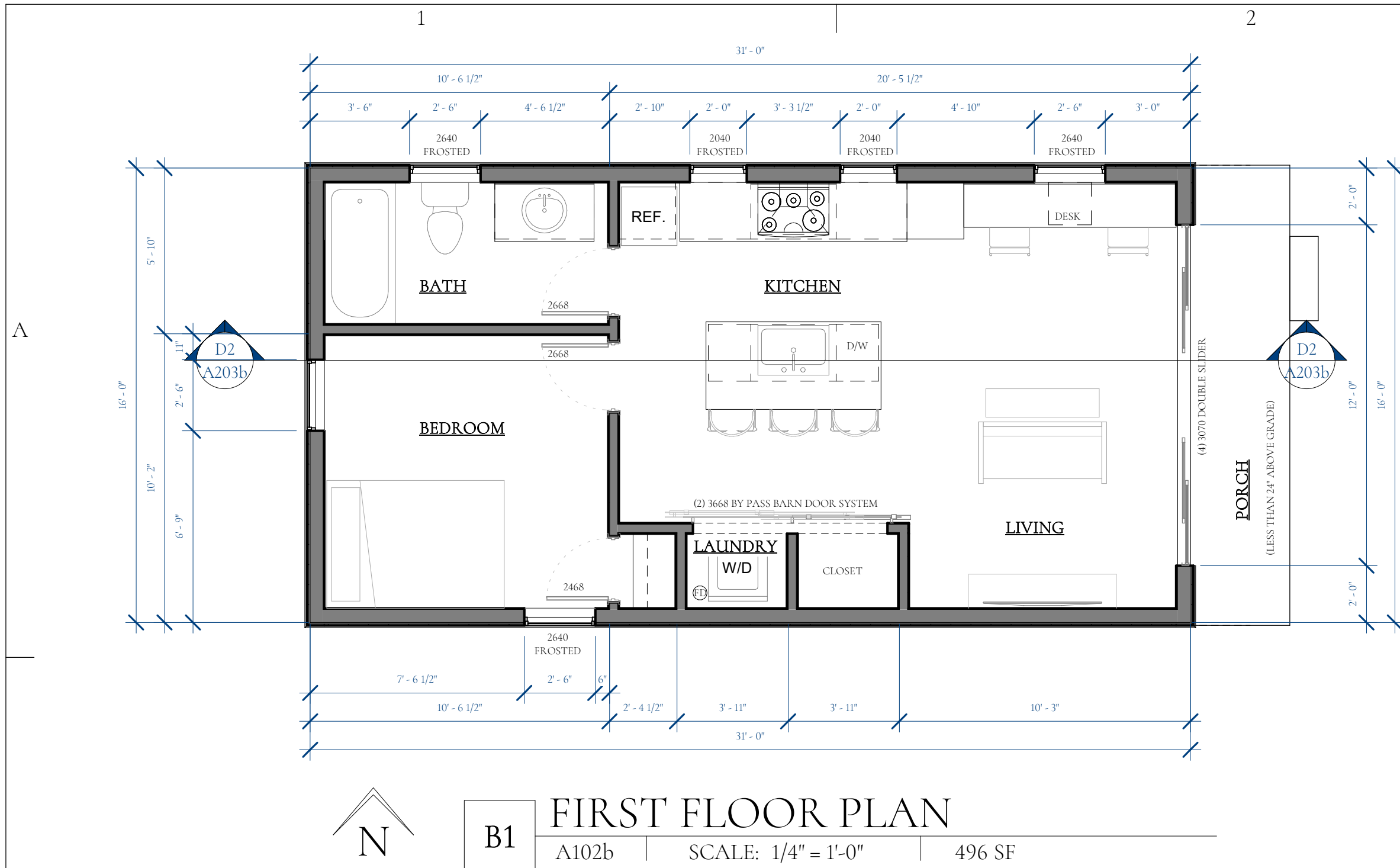
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- ALL WORK BEING DONE MUST BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF IRC AND ALL LOCAL CODES AND REGULATIONS.
- COORDINATE ALL DRAWINGS WITH STRUCTURAL DRAWINGS AND SPECS.
- DRAWINGS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERED SPECS.

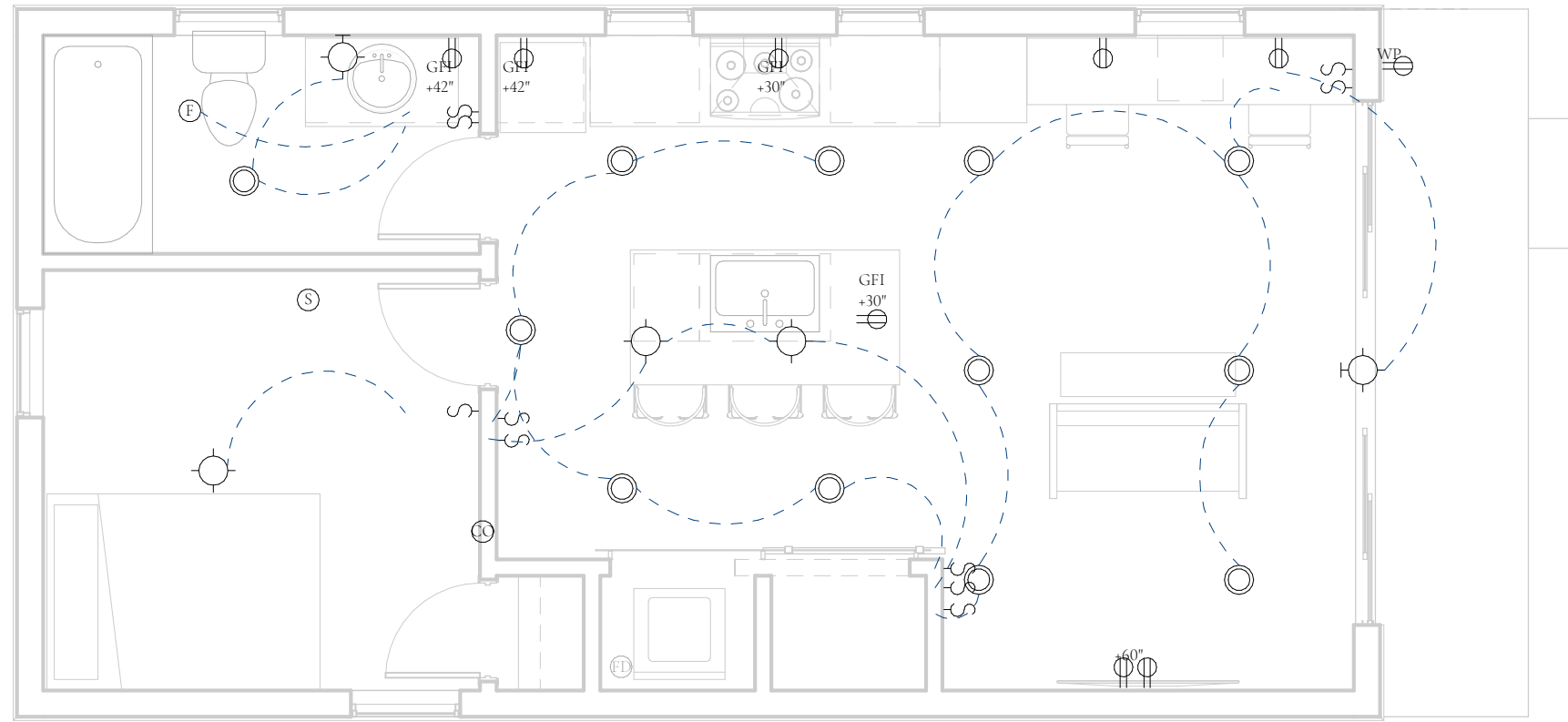
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PROJECT: KYLE MUIR - ADDITION & ADU 1362 SOUTH 600 EAST SLC, UT 84105	SHEET NUMBER: A101a
SHEET NAME: ADDITION FLOOR PLANS	

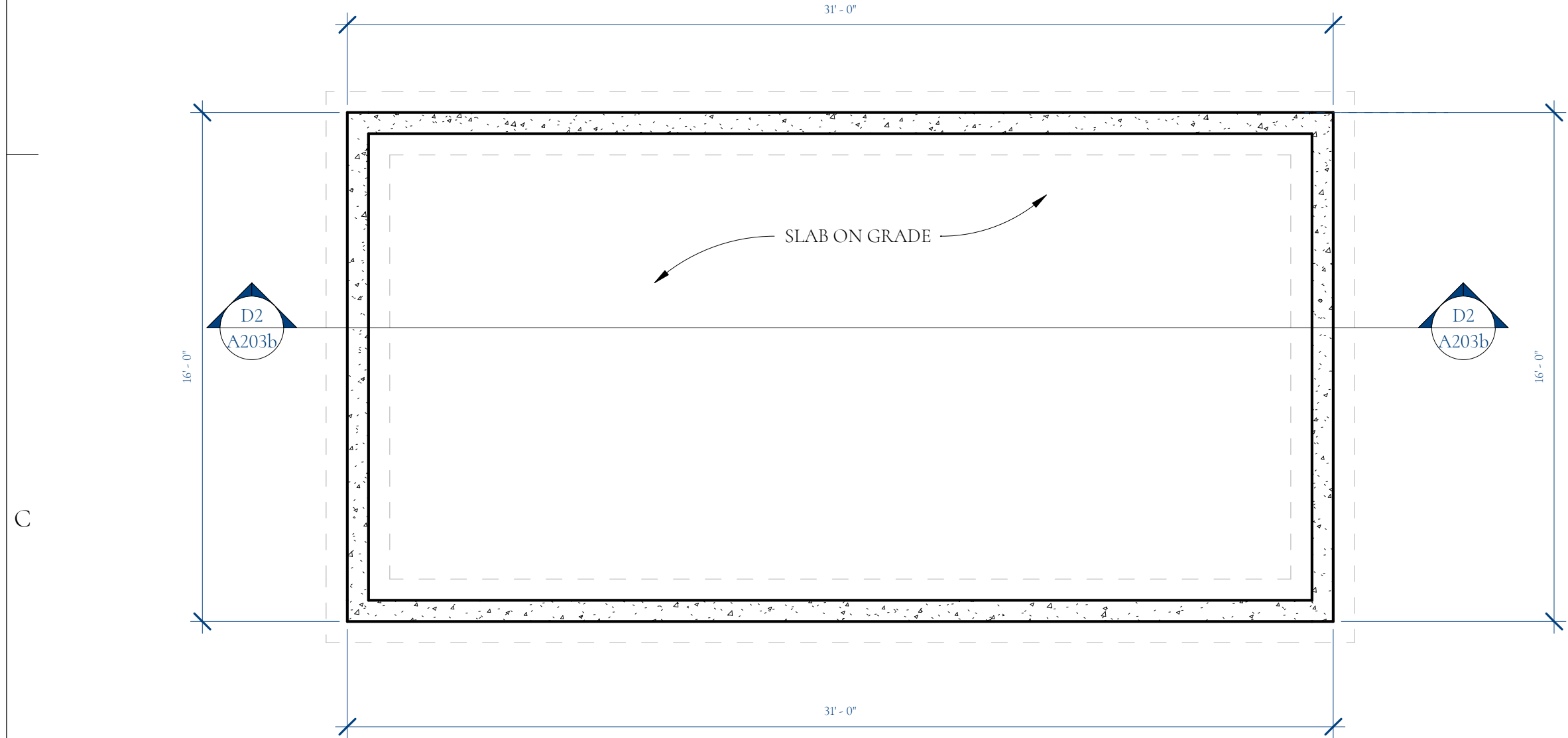
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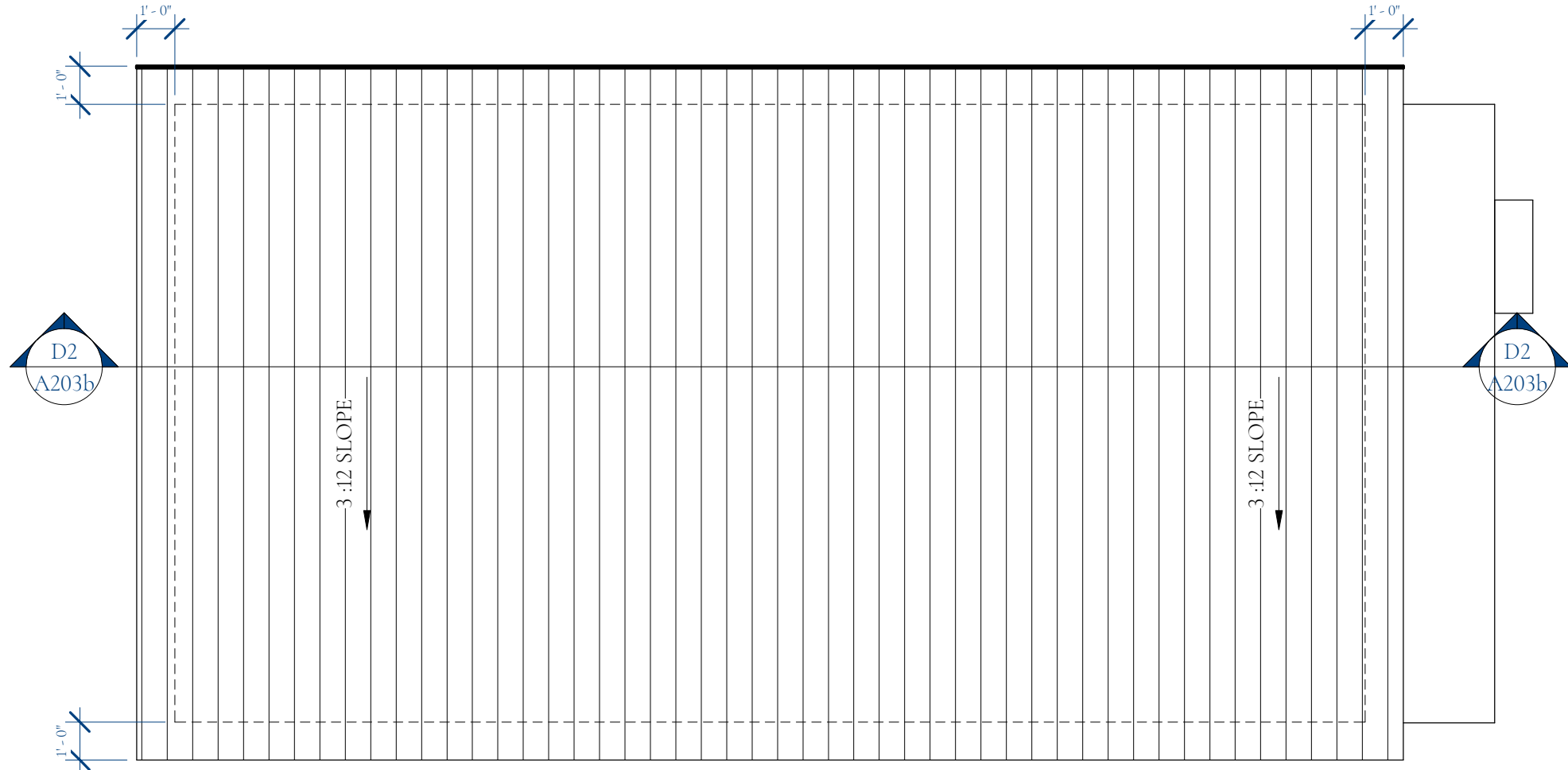
B1 FIRST FLOOR PLAN
A102b | SCALE: 1/4" = 1'-0" | 496 SF



B3 FIRST FLOOR ELECTRICAL PLAN
A102b | SCALE: 1/4" = 1'-0" | SEE ELCT. LEGEND



C1 FOOTING/FOUNDATION PLAN
A102b | SCALE: 1/4" = 1'-0"



C3 ROOF PLAN
A102b | SCALE: 1/4" = 1'-0"



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SHEET NOTES

- ELECTRICAL METER
- ELECTRICAL PANEL
- GAS METER
- HOSE BIB. MUST BE BACKFLOW PROTECTED.
- FLOOR DRAIN
- RAILING @ MIN 36" HEIGHT WITH NO SPHERE OPENING GREATER THAN 4". NO HORIZONTAL RAILS ARE NOT ALLOWED. STYLE AND COLOR TO BE DETERMINED BY HOME OWNER.

ELECTRICAL SYMBOLS

SYM	DESCRIPTION	NOTE
	LED WRAPAROUND CEILING LIGHT	
	CEILING FAN	
	CHANDELIER	
	CEILING MOUNTED LIGHT	
	WALL MOUNTED LIGHT	
	RECESSED LIGHT	
	SWITCH	
	DIMMING SWITCH	
	110 DUPLEX OUTLET	
	110 GROUND FAULT INTERRUPT OUTLET	
	110 WATER PROOF OUTLET	
	CEILING MOUNTED 110 DUPLEX OUTLET	
	220 OUTLET	
	EXHAUST FAN	
	THERMOSTAT	
	SMOKE DETECTOR	
	CARBON MONOXIDE DETECTOR	
	CAT 5	
	DOOR BELL	
	CHIME	

GENERAL NOTES - ELECTRICAL

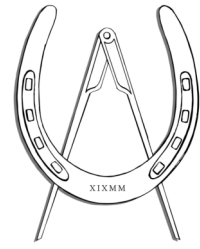
- ALL ELECTRICAL FIXTURES AND THEIR PLACEMENTS ARE TO BE VERIFIED WITH HOME OWNER PRIOR TO INSTALLATION.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE IRC, NEC ALL LOCAL CODES.
- INSTALL CARBON MONOXIDE DETECTORS ON EACH LEVEL IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- INSTALL SMOKE DETECTORS IN EACH BEDROOM
- AIR REMOVED FROM EACH EXHAUST FAN SHALL BE DISCHARGED TO THE OUTDOORS IN ACCORDANCE WITH IRC SECTION M1506.3.

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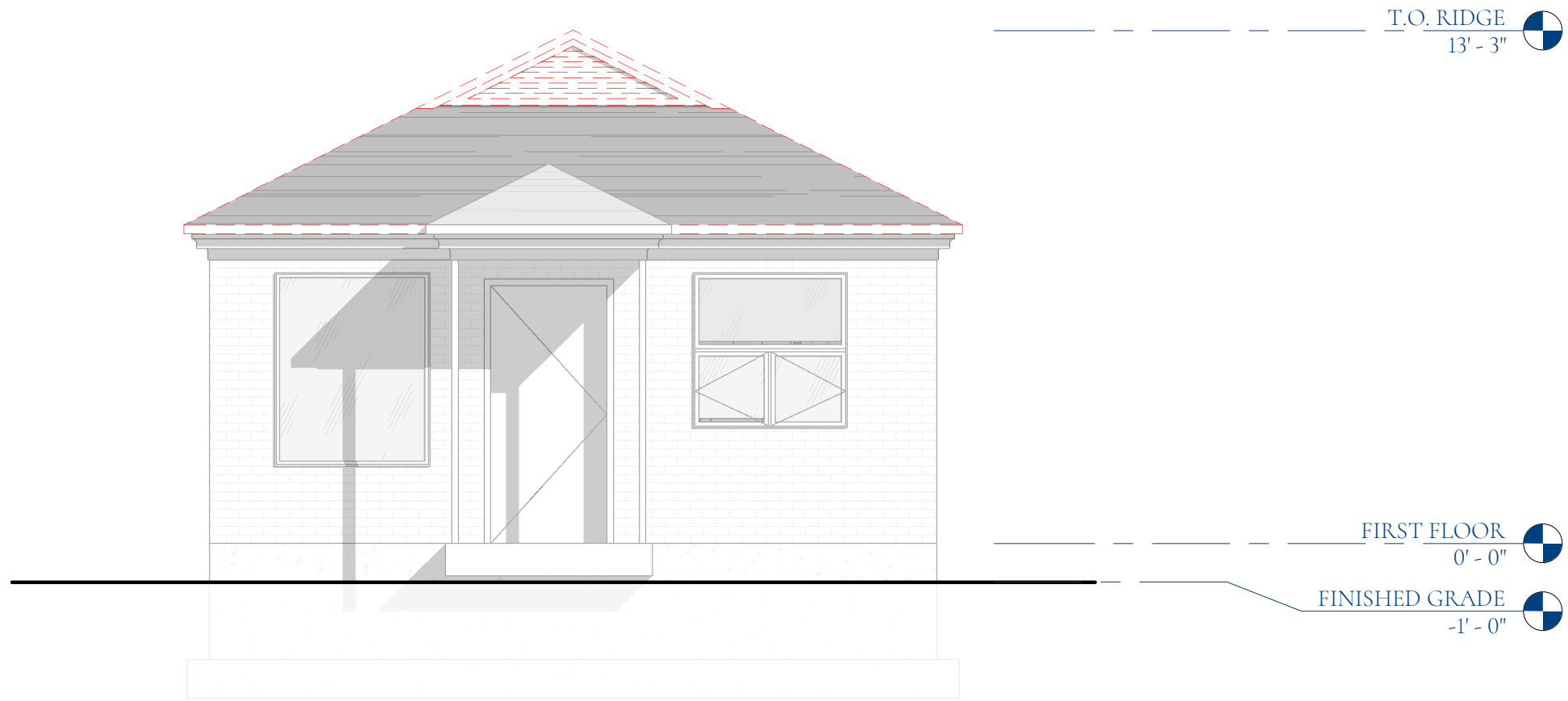
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<u>PROJECT:</u> <u>KYL MUIR - ADDITION & ADU</u> 1362 SOUTH 600 EAST SLC, UT 84105			
<u>SHEET NAME:</u> ADU FLOOR PLANS			

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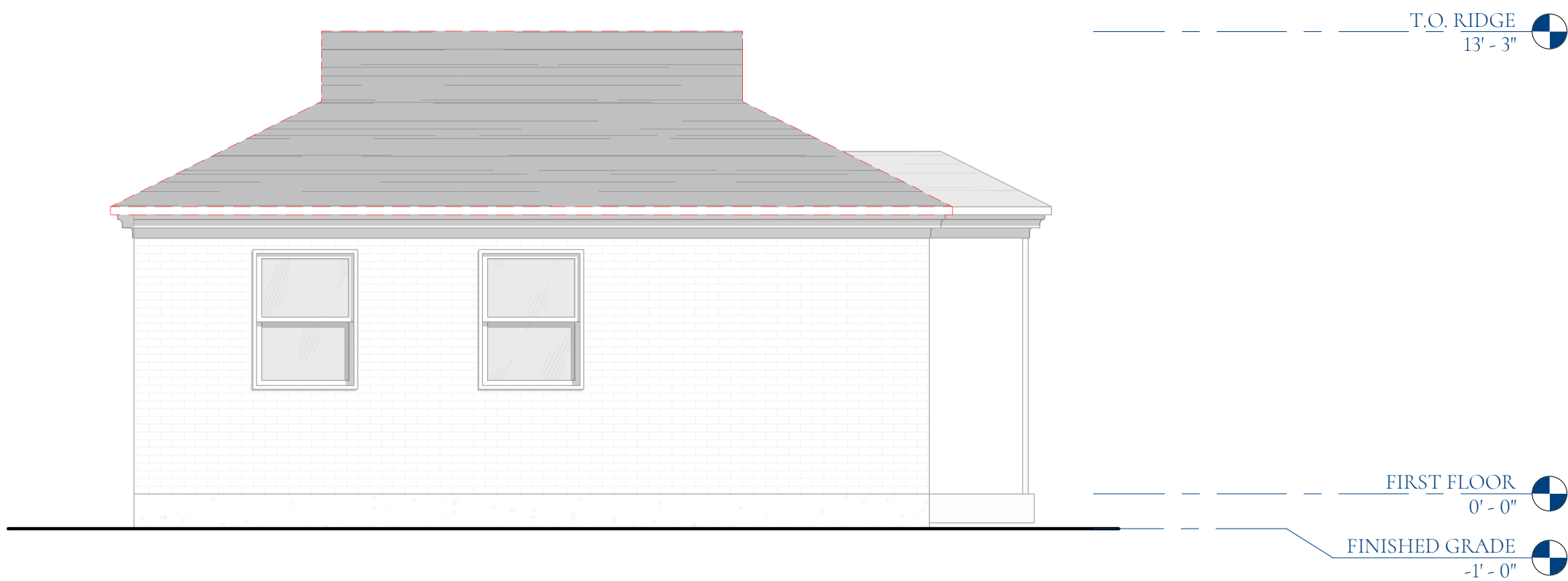


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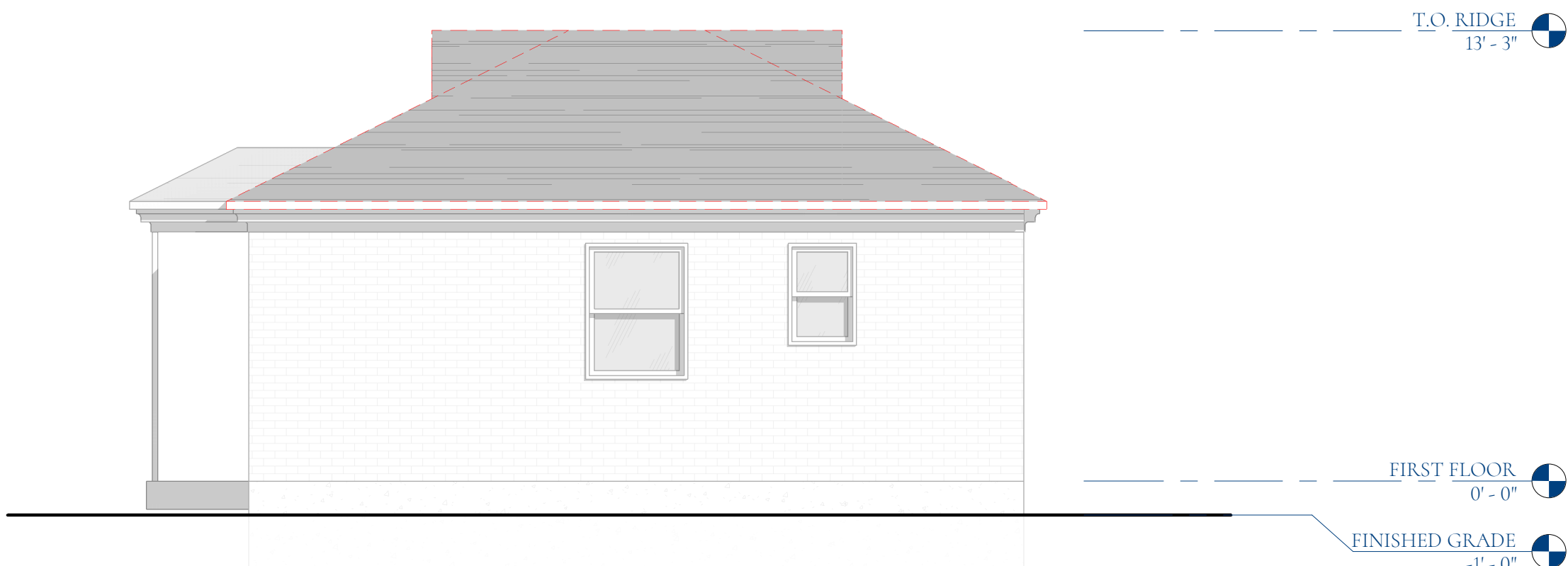
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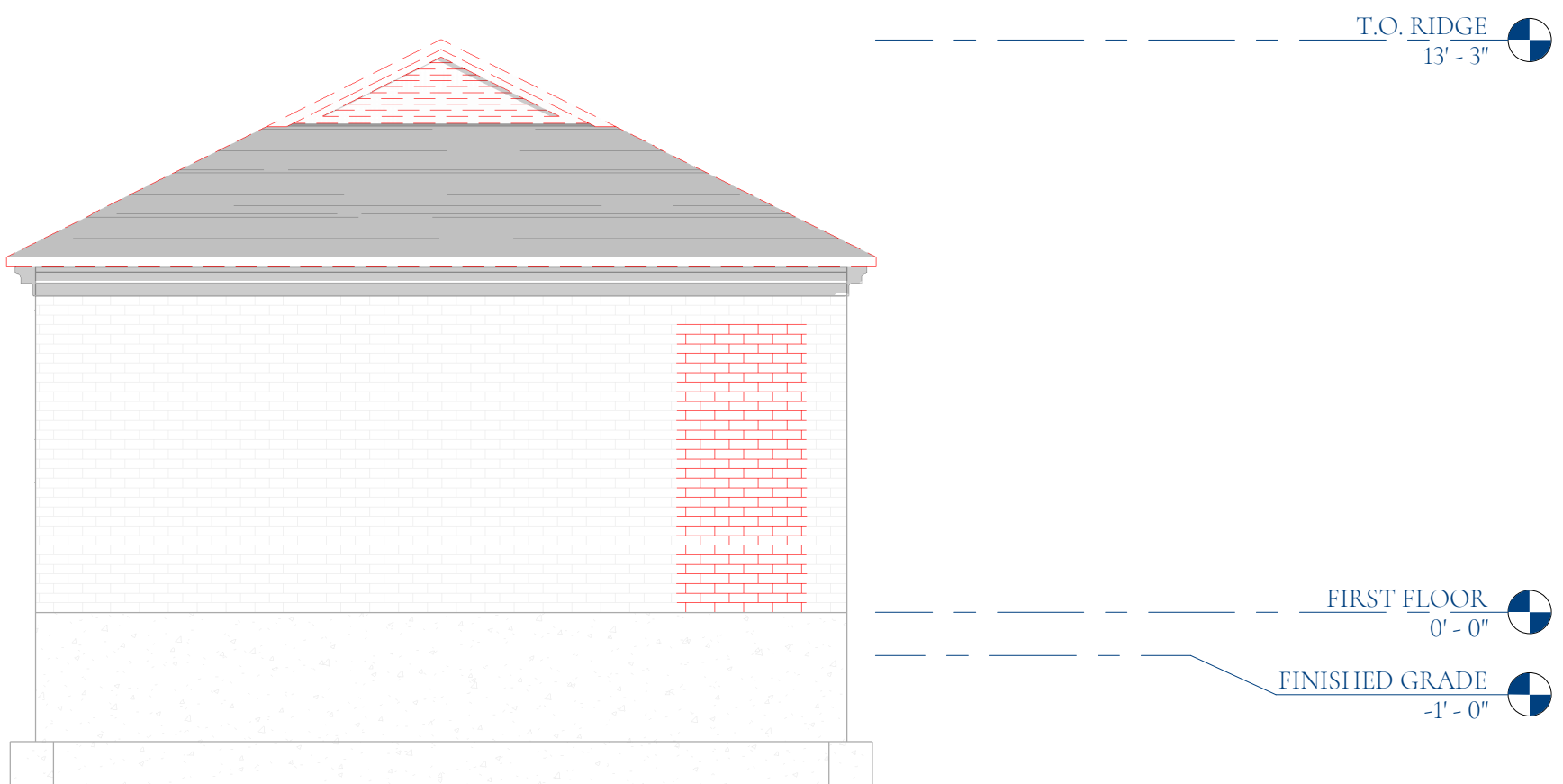
B2 EXISTING FRONT ELEVATION
A201a | SCALE: 1/4" = 1'-0" |



C1 EXISTING LEFT ELEVATION
A201a | SCALE: 1/4" = 1'-0" |



C3 EXISTING RIGHT ELEVATION
A201a | SCALE: 1/4" = 1'-0" |



D2 EXISTING BACK ELEVATION
A201a | SCALE: 1/4" = 1'-0" |

MATERIAL LEGEND

EM1		BRICK VENEER - MATCH EXISTING
EM2		HARDIE SIDING AND TRIM - COLOR TO BE DETERMINED BY HOME OWNER
EM3		30 YEAR ARCHITECTURAL ASPHALT SHINGLE

GENERAL NOTES

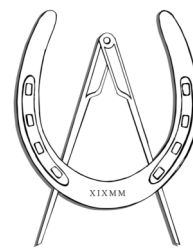
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- PROVIDE ICE AND WATER SHIELD AT ROOF EAVES AND VALLEYS EXTENDING 24" PAST THE EXTERIOR WALL LINE OF THE BUILDING FOR SEVERE CLIMATE CONDITIONS.

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PROJECT: KYLE MUIR - ADDITION & ADU 1362 SOUTH 600 EAST SLC, UT 84105	
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ADDITION EXISTING/DEMO EXTERIOR ELEVATIONS	SHEET NUMBER: A201a
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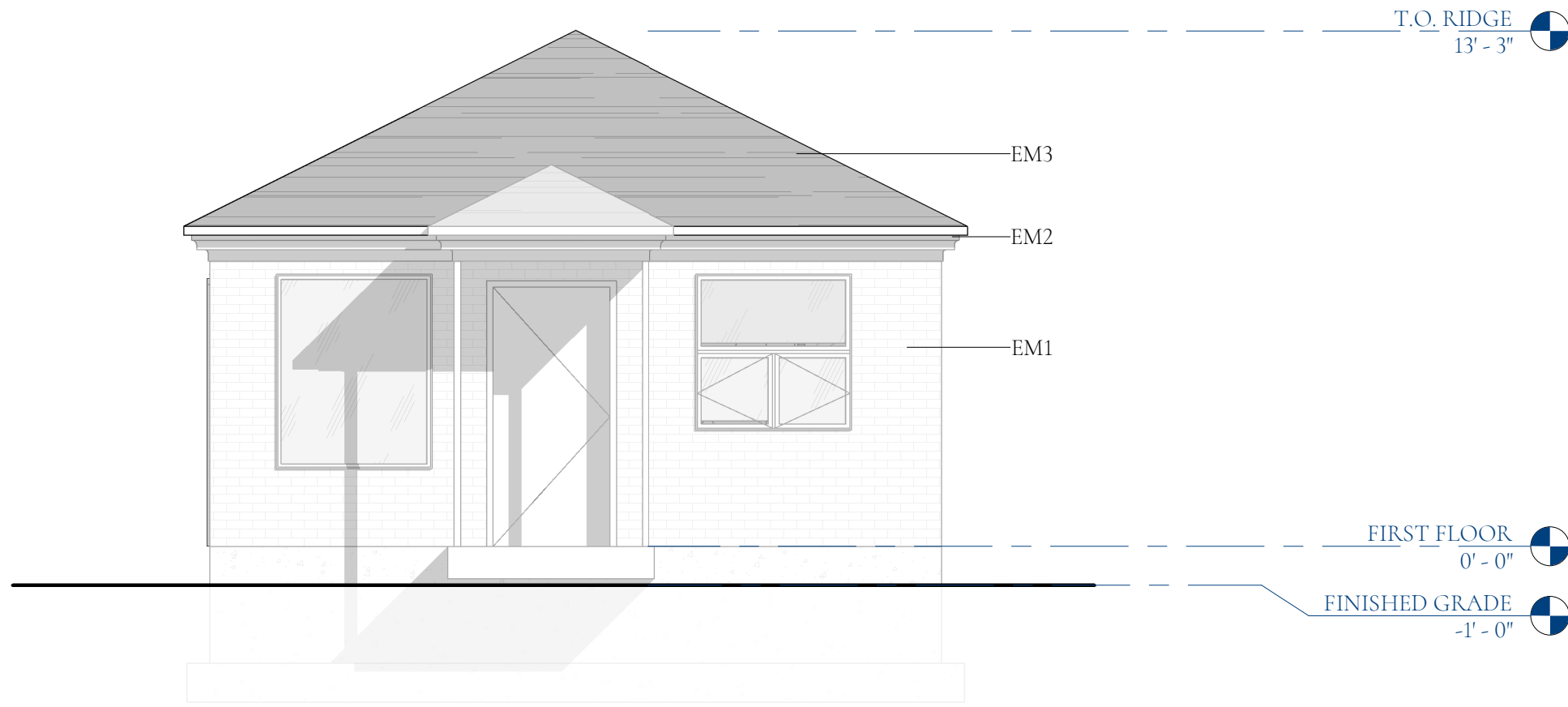


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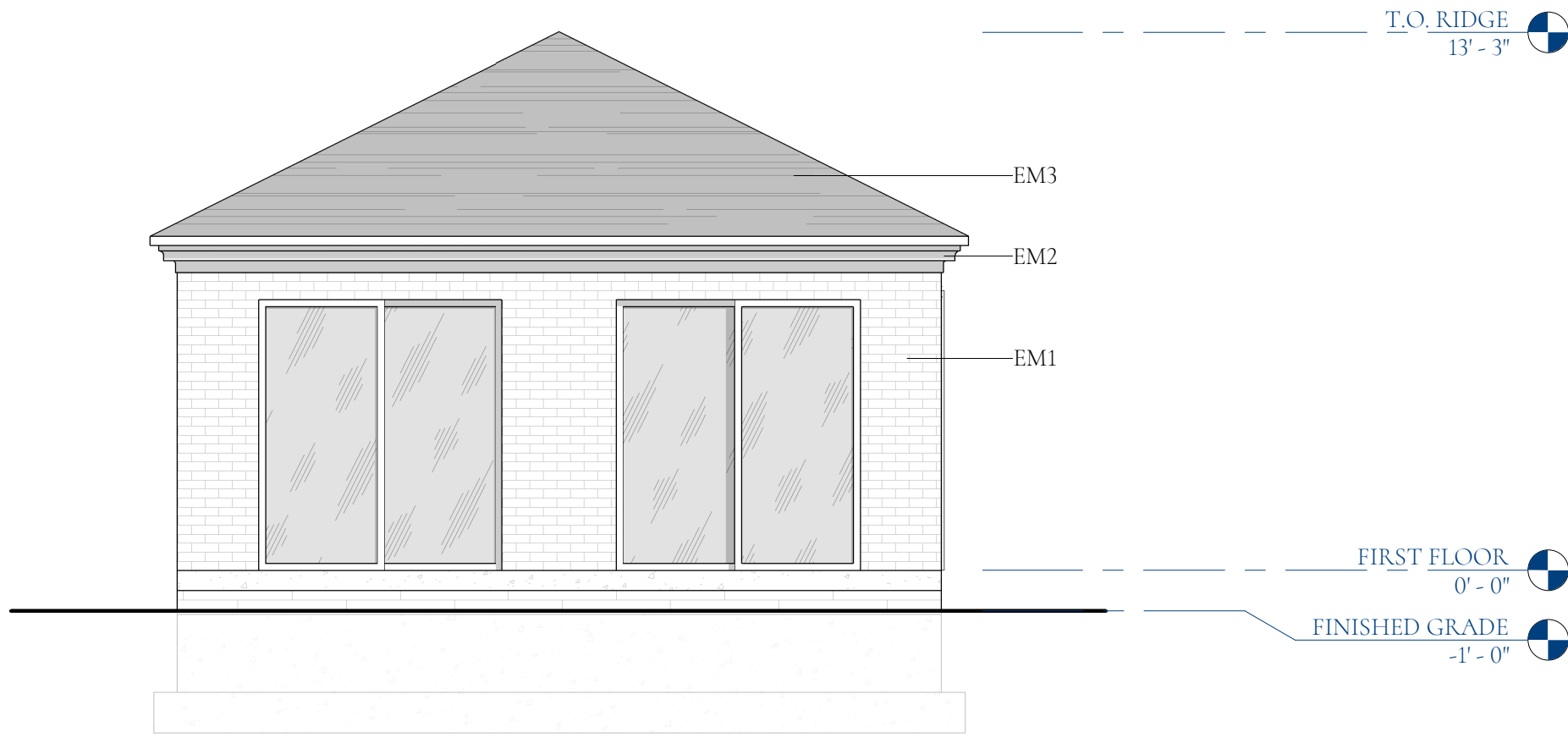


B1

NEW FRONT ELEVATION

A202a | SCALE: 1/4" = 1'-0"

B

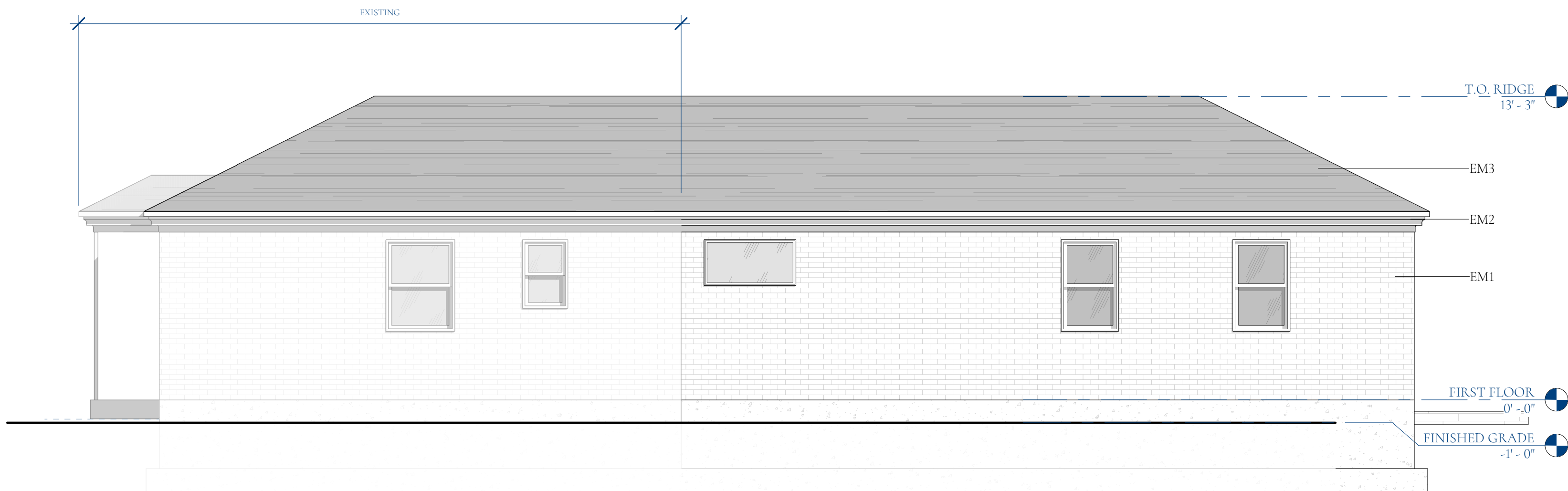


A3

NEW BACK ELEVATION

A202a | SCALE: 1/4" = 1'-0"

C

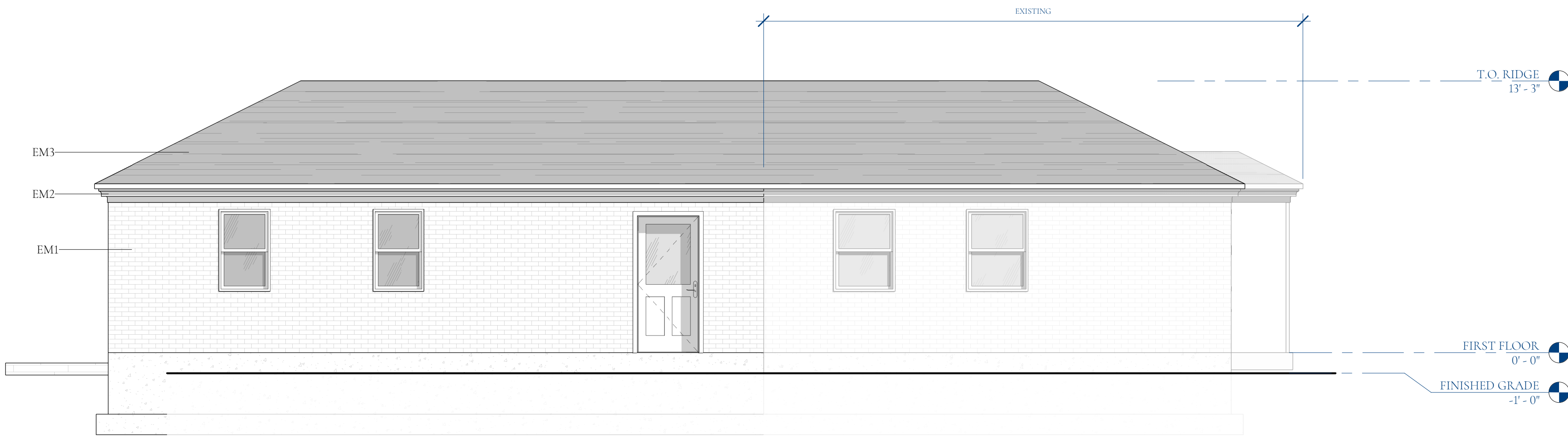


C2

NEW RIGHT ELEVATION

A202a | SCALE: 1/4" = 1'-0"

D



D2

NEW LEFT ELEVATION

A202a | SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

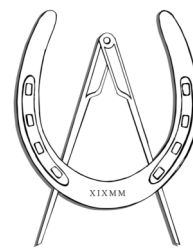
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EM3		30 YEAR ARCHITECTURAL ASPHALT SHINGLE

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SHEET NAME: ADDITION NEW EXTERIOR ELEVATIONS			SHEET NUMBER: A202a

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SHEET NOTES

1. -

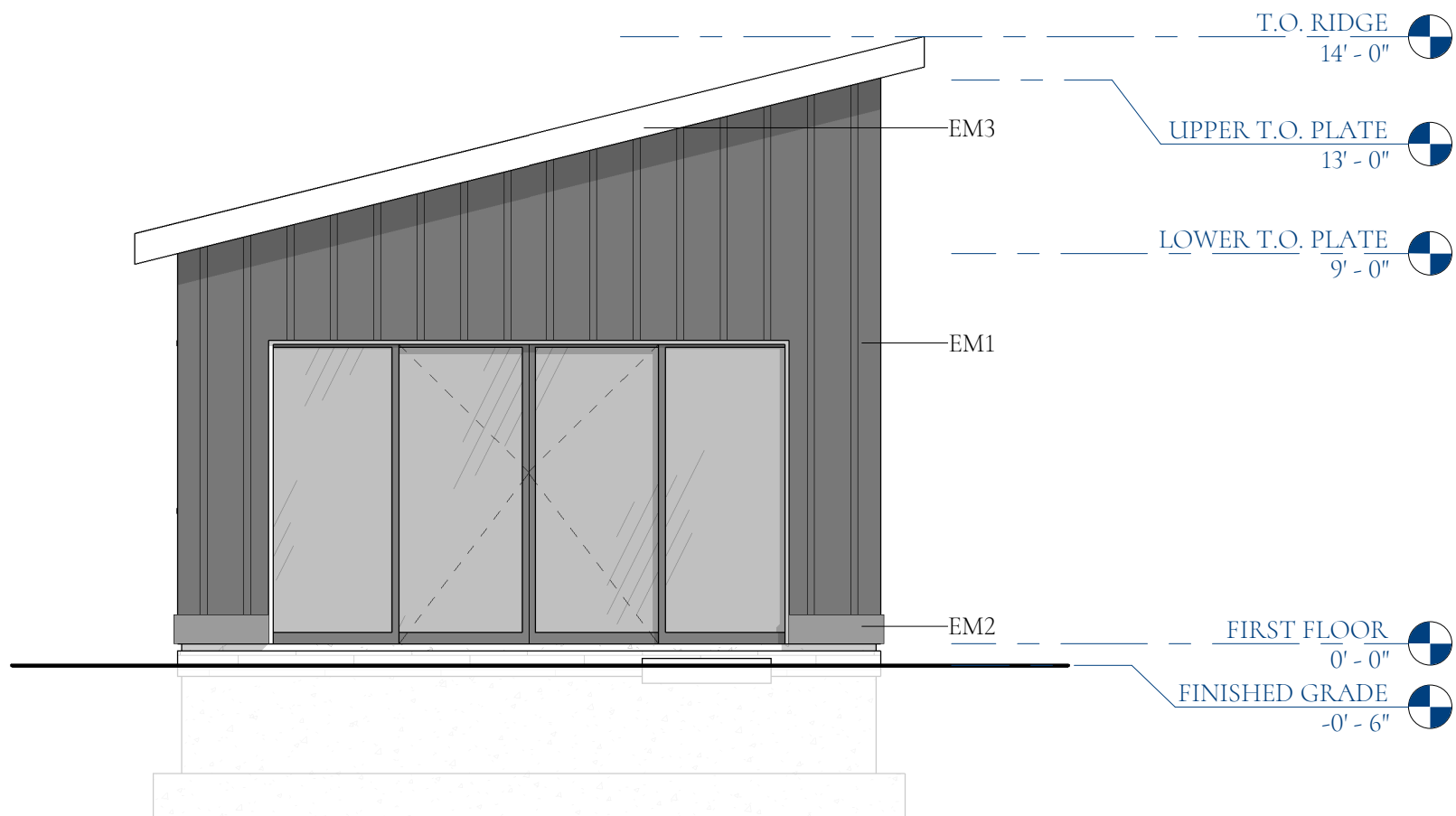
MATERIAL LEGEND

EM1		BOARD & BATTEN SMOOTH HARDIE BOARD - SW IRON ORE
EM2		SMOOTH HARDIE BOARD TRIM - SW - IRON ORE
EM3		ALUMINUM FASCIA AND DRIP EDGE - SW - IRON ORE
EM4		GALVANIZED ALUMINUM ROOF

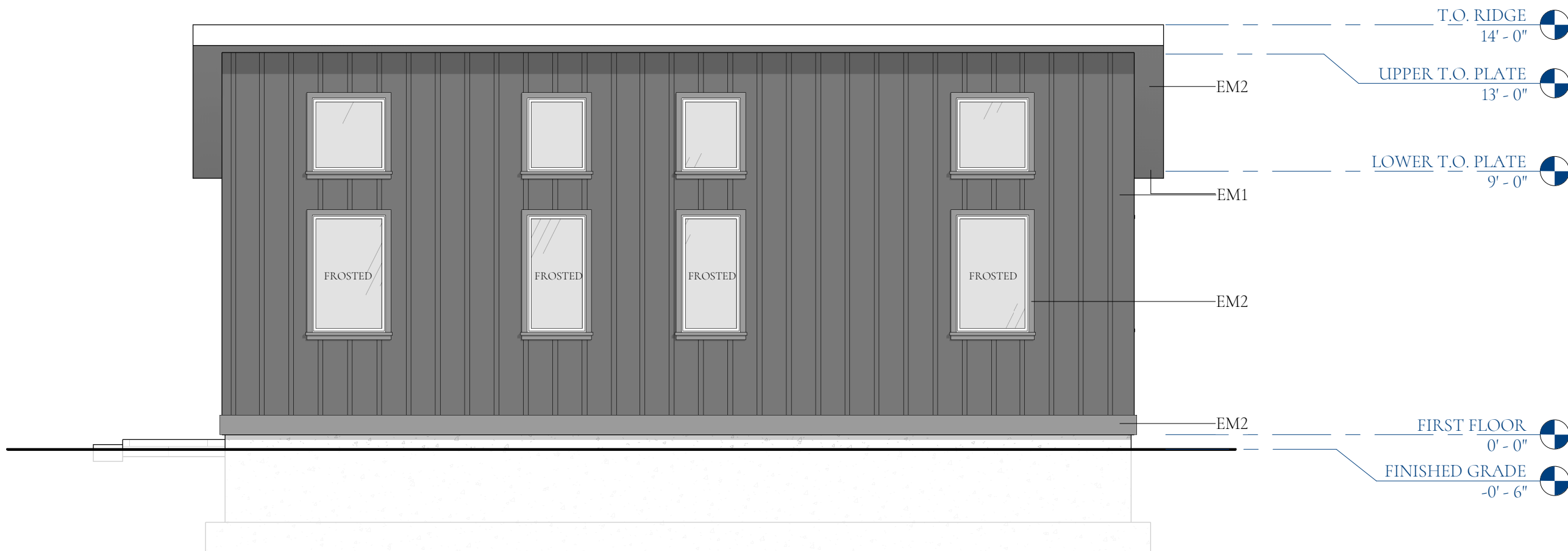
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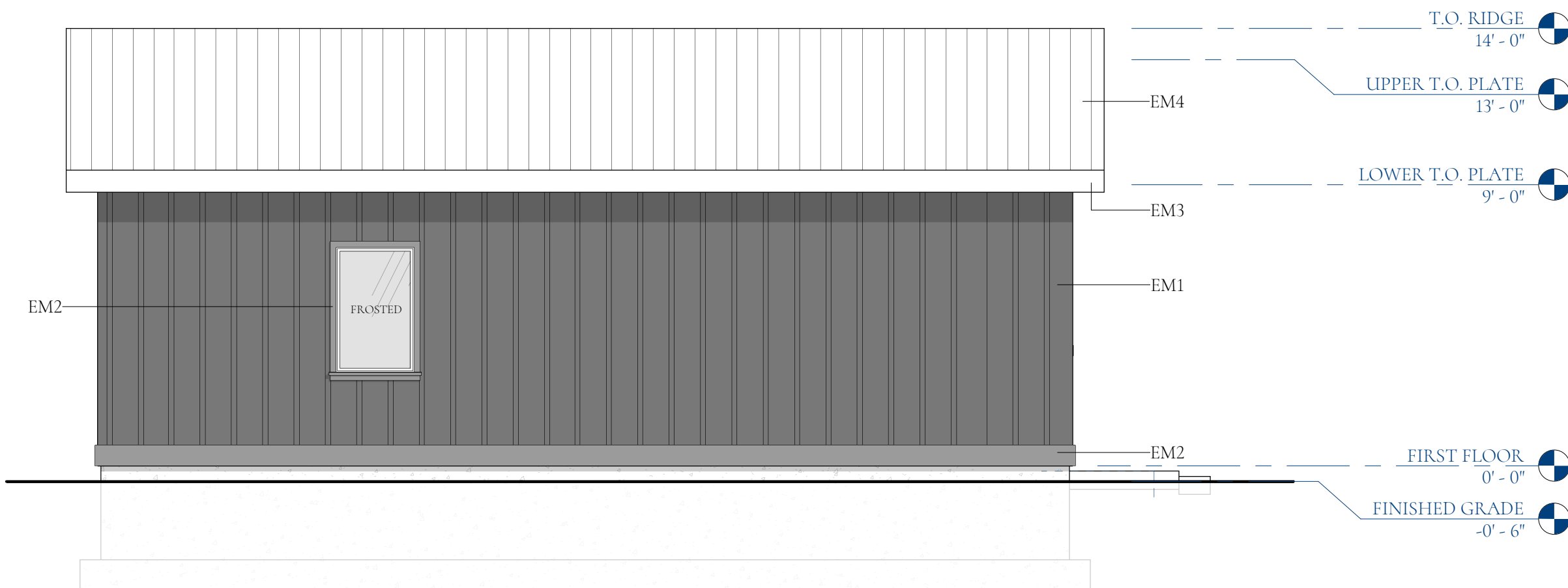
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SHEET NAME: ADU EXTERIOR ELEVATIONS			SHEET NUMBER: A203b



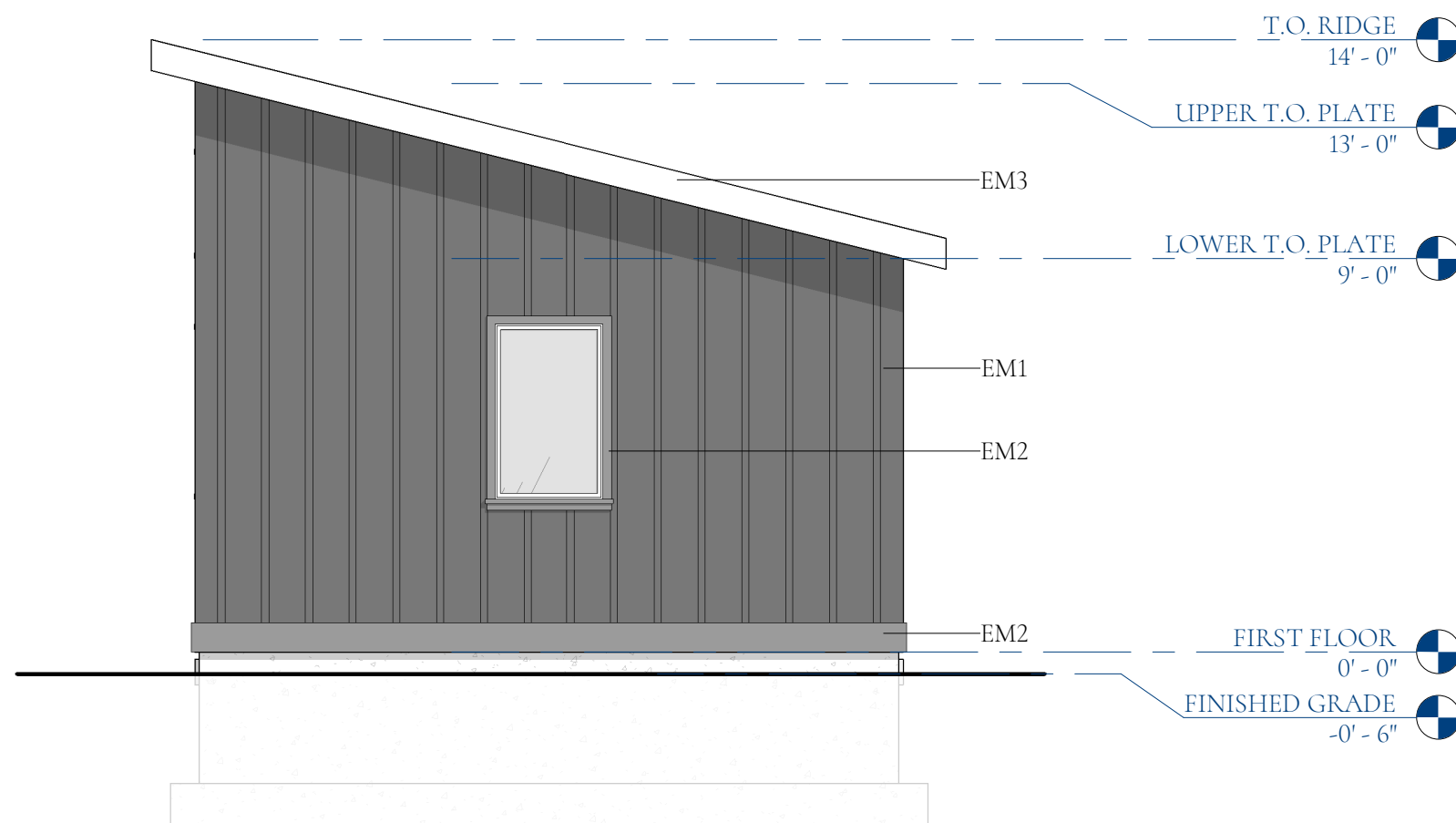
B1 FRONT ELEVATION - EAST
A203b SCALE: 1/4" = 1'-0"



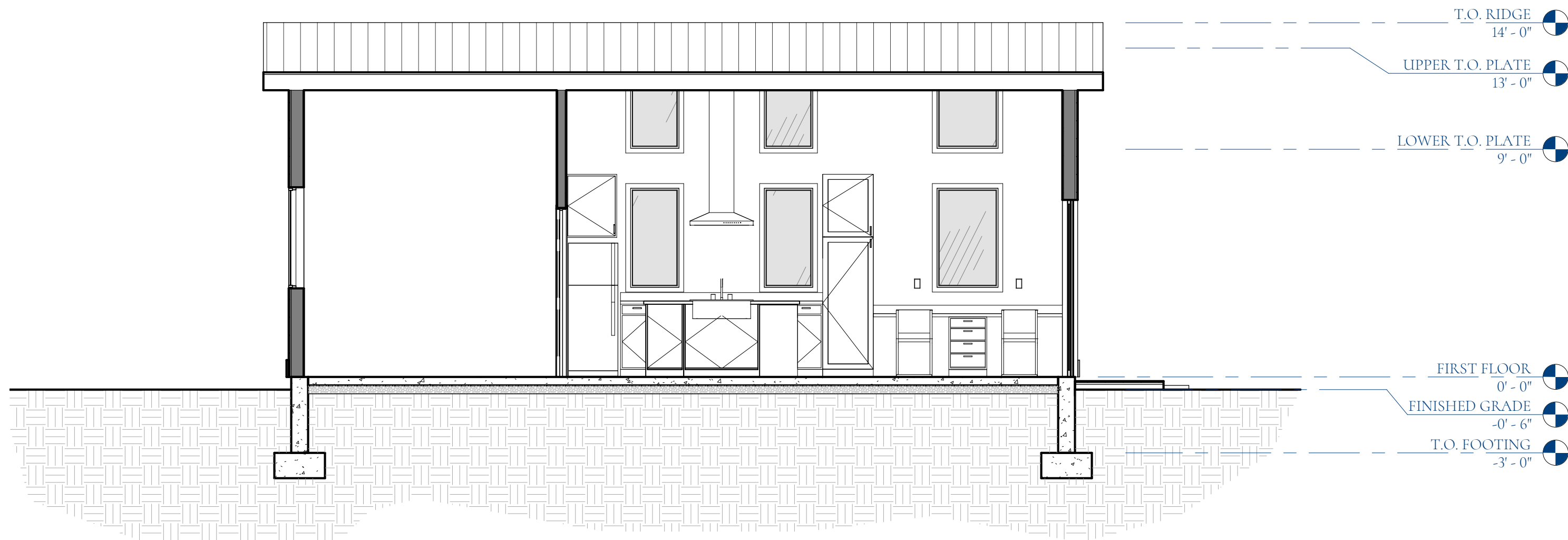
B3 RIGHT ELEVATION - NORTH
A203b SCALE: 1/4" = 1'-0"



C1 LEFT ELEVATION - SOUTH
A203b SCALE: 1/4" = 1'-0"



C3 BACK ELEVATION - WEST
A203b SCALE: 1/4" = 1'-0"



D2 BUILDING SECTION
A203b SCALE: 1/4" = 1'-0"

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